

CERTIFICATE OF APPROPRIATENESS

Application Date: May 6, 2024

Applicant: Mark Hartman, owner;

Property: 634 W. Cottage

Significance: Historic Contributing Church

Proposal: Restore existing facades, add windows, change building entry to eastside

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval with conditions: wall by accessibility ramp step down to block less of the east elevation.

HAHC Action: -

Note: All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap (if originally present) must be retained except where removal or replacement has been explicitly approved per this Certificate. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and removal can cause torquing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.

CERTIFICATE OF APPROPRIATENESS



PLANNING & DEVELOPMENT DEPARTMENT

COA valid for two years from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

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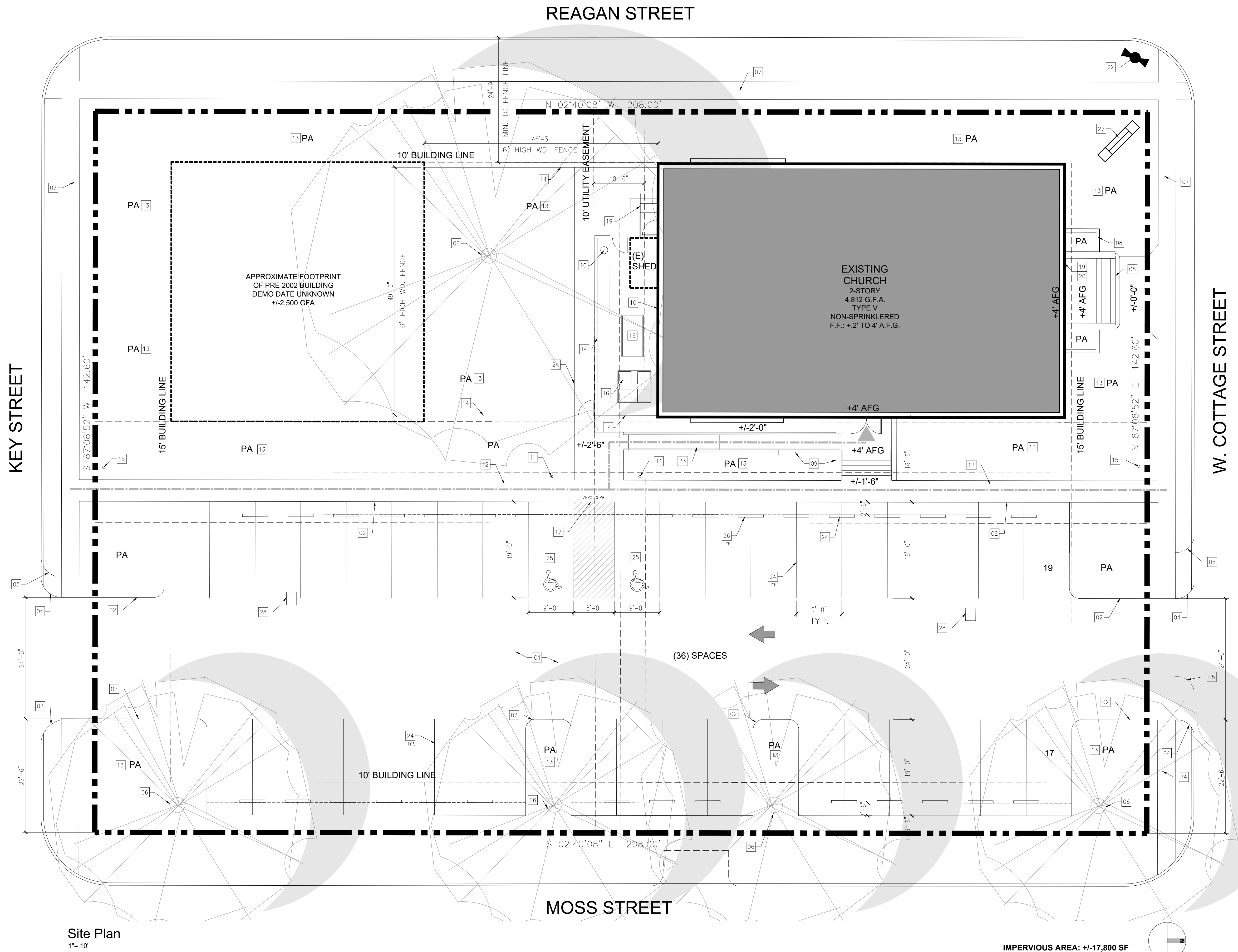
DPA | Dwight Patterson Architects PLLC
 2101 Citywest Blvd, Suite 100
 Houston, Texas 77042
 Ph.281.616.5245

EXTERIOR RENOVATION
 Hope Lutheran Church

EXTERIOR RENOVATION HOPE LUTHERAN CHURCH

Title Sheet

Governing Codes & Municipalities	Permitted Separatly	Project Data	Project Design Team	Vicinity Map										
<p>CITY OF HOUSTON CURRENT CODE OF ORDINANCES</p> <p>2012 INTERNATIONAL BUILDING CODE (WITH HOUSTON AMENDMENTS, PER SECTION 102.1)</p> <p>2012 UNIFORM MECHANICAL CODE (WITH HOUSTON AMENDMENTS)</p> <p>2012 UNIFORM PLUMBING CODE (WITH HOUSTON AMENDMENTS)</p> <p>2020 NATIONAL ELECTRICAL CODE (STATE MANDATED)</p> <p>2015 INTERNATIONAL ENERGY CONSERVATION CODE (WITH HOUSTON AMENDMENTS)</p> <p>ASHRAE 90.1-2013 (WITH HOUSTON AMENDMENTS)</p>	<p>THE FOLLOWING SHALL BE SUBMITTED AND PERMITTED SEPARATELY:</p> <ol style="list-style-type: none"> 1. SPRINKLER SYSTEM 2. FIRE ALARM SYSTEM <p>NOTE: DOCUMENTS FOR ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD AND THE OWNER FOR GENERAL REVIEW.</p> <p>NOTE: SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL</p> <hr/> <p>Deferred Submittals</p> <p>THE FOLLOWING SHALL BE DEFERRED SUBMITTALS AND SHALL BE SUBMITTED NOR MORE THAN 90 DAYS FROM THE ORIGINAL PLAN APPROVAL:</p> <ol style="list-style-type: none"> 1. 	<p>Discretionary Approvals: BUILDING PERMIT / HISTORIC REVIEW</p> <p>Project Description: EXTERIOR RENOVATION OF THE EXISTING TWO (2) STORY CHURCH BUILDING</p> <p>Permitted Separatly: REFER TO ATS.01</p> <p>Project Address: 634 W COTTAGE, HOUSTON, TX 77009</p> <p>Legal Description: LOTS (1), TWO (2), THREE (3) AND FOUR (4) IN BLOCK TWO HUNDRED TWENTY-THREE (223), EAST NORHILL, AND ADDITION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP THEREOF RECORDED IN VOLUMN 6, PAGE 65 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.</p> <p>Total Lot Area: .6809 ACRES</p> <p>Existing Use: CHURCH (WORSHIP)</p> <p>Proposed Use: CHURCH (WORSHIP)</p> <p>Sanitation District: CITY OF HOUSTON</p> <p>Water District: CITY OF HOUSTON</p> <p>School District: HOUSTON I.S.D.</p>	<p>Owner: HOPE LUTHERAN CHURCH 634 W COTTAGE STREET HOUSTON, TEXAS 77009 713.853.1515 CONTACT: HILDA SIBRIAN</p> <p>Civil: ALJ LINDSEY, LLC 5629 FM 1960 WEST, SUITE 314 HOUSTON, TX 77069 281.301.5955 CONTACT: DAVID DENTON ddenton@aljlindsey.com</p> <p>Architect: DWIGHT PATTERSON ARCHITECTS, PLLC 2101 CITYWEST BLVD, SUITE 100 HOUSTON, TEXAS 77042 281.616.5245 CONTACT: DWIGHT PATTERSON, AIA dwight@dwhightpattersonarchitects.com</p> <p>Structural: DUDLEY ENGINEERING 6102 IMPERIAL LOOP DRIVE COLLEGE STATION, TEXAS 77845 979.777.0720 CONTACT: NATHAN CONTRERAS P.E.M PMP</p> <p>MEP: DVO ENGINEERING 825 TOWN AND COUNTRY LN, # 1150 HOUSTON, TX 7702 281.293.7500 CONTACT: DARIN GARRISON</p> <p>BUILDING PERFORMANCE: TONER HOME MATTERS 2322 BISSONNET, SUITE 3 HOUSTON, TEXAS 77005 832.384.4184 CONTACT: TONER KERSTING</p>											
				<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">Project Date</td> <td style="width: 50%;">2303</td> </tr> <tr> <td>Schematic Design</td> <td>01-10-24</td> </tr> <tr> <td>Historic Review Submittal</td> <td>03-25-24</td> </tr> <tr> <td>...</td> <td>...</td> </tr> <tr> <td>...</td> <td>...</td> </tr> </table>	Project Date	2303	Schematic Design	01-10-24	Historic Review Submittal	03-25-24
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Historic Review Submittal	03-25-24													
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Site Plan
1" = 10'

IMPERVIOUS AREA: +/-17,800 SF

- 01 (N) DRIVEWAY TOPPING AND STRIPPING. SEE CIVIL PLANS FOR SPECS.
- 02 (N) EDGE OF PAVING FOR ADJUSTED PARKING / DRIVE AISLE. SEE CIVIL PLANS.
- 03 (E) EDGE OF DRIVEWAY APRON TO REMAIN.
- 04 (N) PROPOSED EDGE OF DRIVEWAY APRON.
- 05 CURRENT LOCATION OF DRIVEWAY APRON.
- 06 (E) TREES. SEE SURVEY.
- 07 (E) SIDEWALK TO REMAIN.
- 08 (E) CONC. STEPS & PLANTERS TO REMAIN.
- 09 (N) PROPOSED ENTRY INCLUDING CONC. ADA RAMP, STAIRS & SITE WALLS PER DETAILS.
- 10 (E) MAIN SERVICE ELECTRICAL EQUIPMENT. SEE ELECTRICAL AND CIVIL PLANS.
- 11 (N) HC PARKING SIGN PER DETAIL.
- 12 (N) CONCRETE FLATWORK PER CIVIL & LANDSCAPE PLANS.
- 13 (N) LANDSCAPE PER LANDSCAPE PLANS.
- 14 (N) WOOD FENCE / GATES.
- 15 (N) SITE ACCESSIBILITY SIGN PER DETAIL.
- 16 MECHANICAL EQUIPMENT & CONCRETE PAD. SEE MEP PLANS.
- 17 +0'-0" CURB, SEE CIVIL PLANS
- 18 BUILDING MOUNTED SIGN. ELECTRICAL REQ'D. DESIGN BY OTHERS. DEFERRED SUBMITTAL.
- 19 KNOX BOX PER FIRE DEPARTMENT REQUIREMENTS, VERIFY LOCATION.
- 20 KNOX SWITCH PER FIRE DEPARTMENT REQUIREMENTS LOCATED ADJACENT TO KEY PAD.
- 21 TRASH BIN ENCLOSURE AREA PER DETAILS.
- 22 (E) FIRE HYDRANT.
- 23 RAMP. SLOPE 1:12 MAX.
- 24 (N) PARKING STRIPING, TYP. SEE CIVIL PLAN AND DETAILS.
- 25 ACCESSIBLY PARKING SPACE. SEE DETAILS.
- 26 PRECAST WHEEL STOP. SEE DETAIL.
- 27 (E) MONUMENT SIGN
- 28 (E) DRAIN OUTLETS TO REMAIN.

SITE PLAN NOTES

1. THIS IS AN EXISTING SITE INCLUDING CONCRETE DRIVE APRONS, DRIVE AISLE AND PARKING. THE INTENDED SCOPE OF SITE WORK IS "GENERAL MAINTENANCE" AND "ODDE" UPGRADES INCLUDING THE ADJUSTMENT OF DRIVES AND PARKING IN ACCORDANCE WITH CURRENT CITY OF HOUSTON STANDARDS. ADDITIONALLY, THE ADJUSTED DRIVE AND PARKING LAYOUT WILL ALLOW FOR ADA ACCESS AND AN ACCESSIBLE ROUTE IN TO THE EXISTING BUILDING. THE DESIGN SCOPE OF WORK DOES NOT INCLUDE A CHANGE IN DRAINAGE PATTERN UNLESS IMPROVEMENTS ARE DETERMINED.
2. SEE LANDSCAPE PLANS FOR: LOCATION AND DETAILS OF HARDSCAPE WALKS AND DRIVEWAYS, RAMPS, MONUMENT SIGN, HANDRAILS, GUARDRAILS, FREE STANDING PLANTERS, RETAINING WALLS, LANDSCAPE/ PLANTING, AND IRRIGATION PLANS & DETAILS
3. GRADING PLAN IS NOT PART OF THIS PERMIT, SEE CIVIL PLANS FOR: ALL SITE DIMENSIONS NOT SHOWN ON THIS PLAN, DRAINAGE ELEVATIONS, SITE UTILITIES, CURBS, SITE RETAINING WALLS AND DETAILS. VERIFY ALL DIMENSIONS WITH CIVIL DRAWINGS
4. RETAINING WALLS UNDER SEPARATE PERMIT. SEE CIVIL PLANS FOR DETAILS
5. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND OBTAIN SEPARATE DEMOLITION PERMIT PRIOR TO COMMENCEMENT OF ANY WORK. REMOVE ALL EXISTING WALLS, STRUCTURES, FENCES, A/C OR CONCRETE PAVING, ETC. AS REQUIRED FOR NEW CONSTRUCTION. SEE CIVIL PLAN FOR ADDITIONAL INFORMATION
6. CONTRACTOR TO CONFIRM ALL UTILITY LOCATIONS PRIOR TO GRADING
7. STREET ADDRESS SHALL BE LOCATED IN ACCORDANCE WITH THE MUNICIPAL CODE. SEE EXTERIOR ELEVATIONS FOR LOCATIONS
8. ALL PROPERTY LINES, BUILDINGS, BOTH EXISTING AND PROPOSED ARE SHOWN ON THIS SITE PLAN
9. FOR MINIMUM STREET SETBACKS, SEE THIS SHEET AND SHEET "TS"
10. NOT USED
11. SURFACE WATER WILL DRAIN AWAY FROM BUILDING. SEE CIVIL & LANDSCAPE DRAWINGS
12. THE DEVELOPER/CONTRACTOR/OWNER IS RESPONSIBLE FOR THE VERIFICATION OF THE EXISTING CURB LOCATION (OR EDGE OF STREET PAVING IF NO CURB EXISTS.) FROM PROPERTY LINE(S) WITH HARRIS COUNTY.
13. DRIVEWAY APPROACH MAY REQUIRE A SEPARATE PERMIT AND INSPECTION FROM HARRIS COUNTY.

SYMBOLS

- ◀ - SYMBOL INDICATES ACCESSIBLE BUILDING ENTRANCES
- - SYMBOL INDICATES ACCESSIBLE ROUTE
- - INDICATES FIRE LANE & RED CURB OR SIGNAGE PER COH & HARRIS COUNTY FIRE DEPARTMENT STANDARDS.
- - INDICATES FIRE HOSE LAY DISTANCES FROM EXISTING FIRE HYDRANTS.

PARKING ANALYSIS
(NOTE: NO CHANGE IN USE CLASSIFICATION OR ADDITIONS ARE PART OF THIS PERMIT APPLICATION)

CHURCH USE: 1.0 PARKING SPACE FOR EVERY 40 SQUARE FEET OF GFA IN THE MAIN SANCTUARY.

MAIN SANCTUARY: 2,073 GFA / 40 = 52 SPACES

PARKING REDUCTION: 40% REDUCTION FOR HISTORIC STRUCTURE AS A CONTRIBUTING STRUCTURE WITH A CERTIFICATE OF APPROPRIATENESS.

PARKING CALCULATION: 52 SPACES X .40 = 21 SPACES (REDUCTION)
52 - 21 = 31 SPACES REQUIRED.



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634 West Cottage Street, Houston, Texas 77009

Site Plan - Phase II



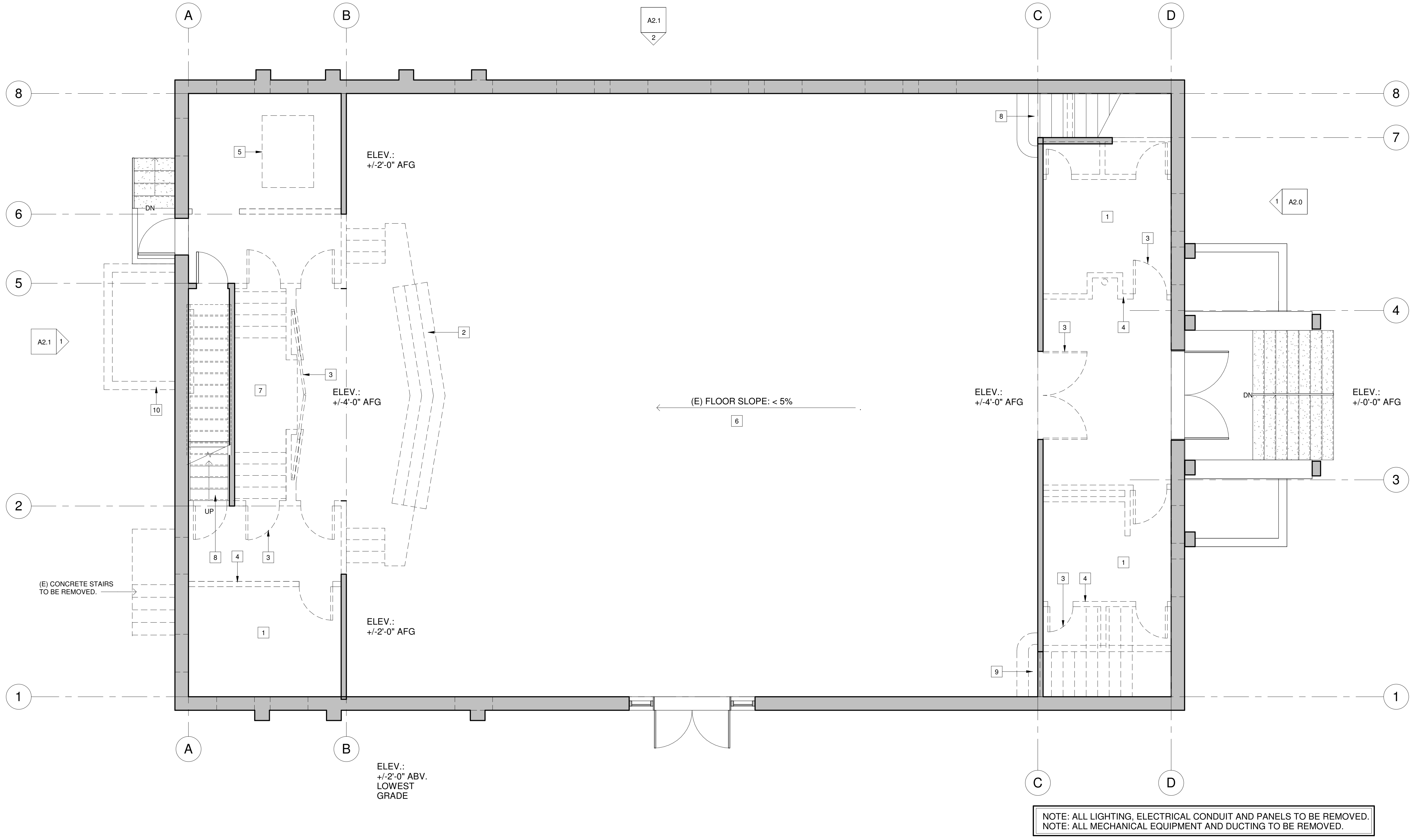
Project: 2303
Schematic Design: 01-30-23
Historic Review Submittal: 03-25-24

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EXTERIOR RENOVATION
 Hope Lutheran Church
 Demo First Floor Plan



Project	2303
Date	.
Schematic Design	01-10-24
Historic Review Submittal	03-25-24
...	...
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1 Demo First Floor Plan
 1/4" = 1'-0"

Wall Legend	
(SEE A6.2 WALL ASSEMBLIES FOR FURTHER INFORMATION)	
	EXISTING STUD WALL - NON-RATED, UNLESS OTHERWISE NOTED
	NEW STUD WALL - NON-RATED, UNLESS OTHERWISE NOTED

Demo Floor Plan Notes	
1.	DEMOLISH ALL WALL AND CEILING SHOWN DASHED AND CLARIFIED IN THE KEY NOTES.
2.	ALL ELEMENTS THAT ARE TO REMAIN MUST BE PROTECTED IN PLACE DURING DEMOLITION.
3.	DEMOLISH ALL WALL AND FLOOR FINISHES THROUGHOUT.
4.	REMOVE AND CAP ACCORDING TO APPLICABLE CODE, BELOW THE FLOOR / SLAB, ALL UNUSED UTILITIES.
5.	ALL HVAC DUCTWORK TO ACCOMMODATE NEW PLAN. PACKAGE UNIT(S).
6.	CONTACT ARCHITECT WHEN IN DOUBT OF DEMOLITION SCOPE.
8.	COORDINATE ALL DEMOLITION WORK WITH NEW CONSTRUCTION DOCUMENTS WHEN AVAILABLE.
7.	COORDINATE ALL DEMOLITION WORK WITH OWNER.
8.	PROTECT IN PLACE ALL SERVICE FEEDS TO ELECTRICAL PANEL.
9.	INVESTIGATE ANY AND ALL UNKNOWN ELECTRICAL, PLUMBING, MECHANICAL, AND STRUCTURAL WITH LANDLORD TO VERIFY DEMOLITION POSSIBILITY.

Demo Floor Plan Key Notes	
1	REMOVE EXISTING WOOD FLOOR IN ORDER TO ADD TILE.
2	REMOVE WOOD STAGE / STAIRS.
3	REMOVE ALL DOORS SHOWN DASHED. RELOCATE IF POSSIBLE. SEE DOOR SCHED'L.
4	REMOVE ALL FRAMED PARTITIONS SHOWN DASHED.
5	REMOVE ALL (E) MECHANICAL EQUIPMENT.
6	
7	(E) BAPTISMAL AREA INCLUDING STAIRS AND TILE TO REMAIN. POSSIBLE UNDER NEW FLOOR STORAGE.
8	(E) WOOD STAIRS TO REMAIN.
9	REMOVE EXISTING WOOD STAIRS.
10	(E) SHED TO BE REMOVED. EXT. STUCCO FINISH SHALL BE REPAIRED.

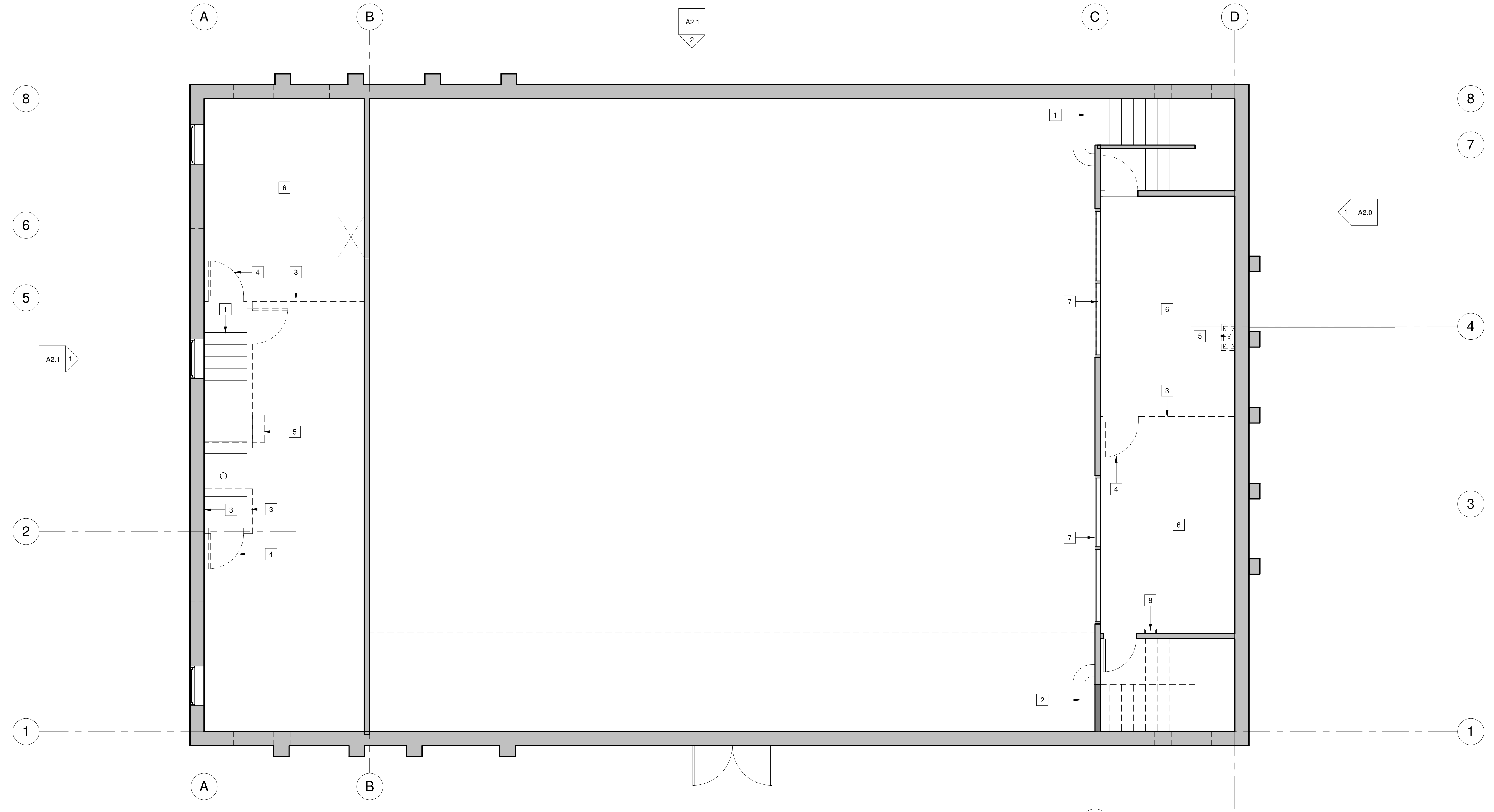
EXTERIOR RENOVATION

Hope Lutheran Church

Demo Second Floor Plan



Project	2303
Date	.
Schematic Design	01-10-24
Historic Review Submittal	03-25-24
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**NOTE: ALL LIGHTING, ELECTRICAL CONDUIT AND PANELS TO BE REMOVED.
 NOTE: ALL MECHANICAL EQUIPMENT AND DUCTING TO BE REMOVED.**

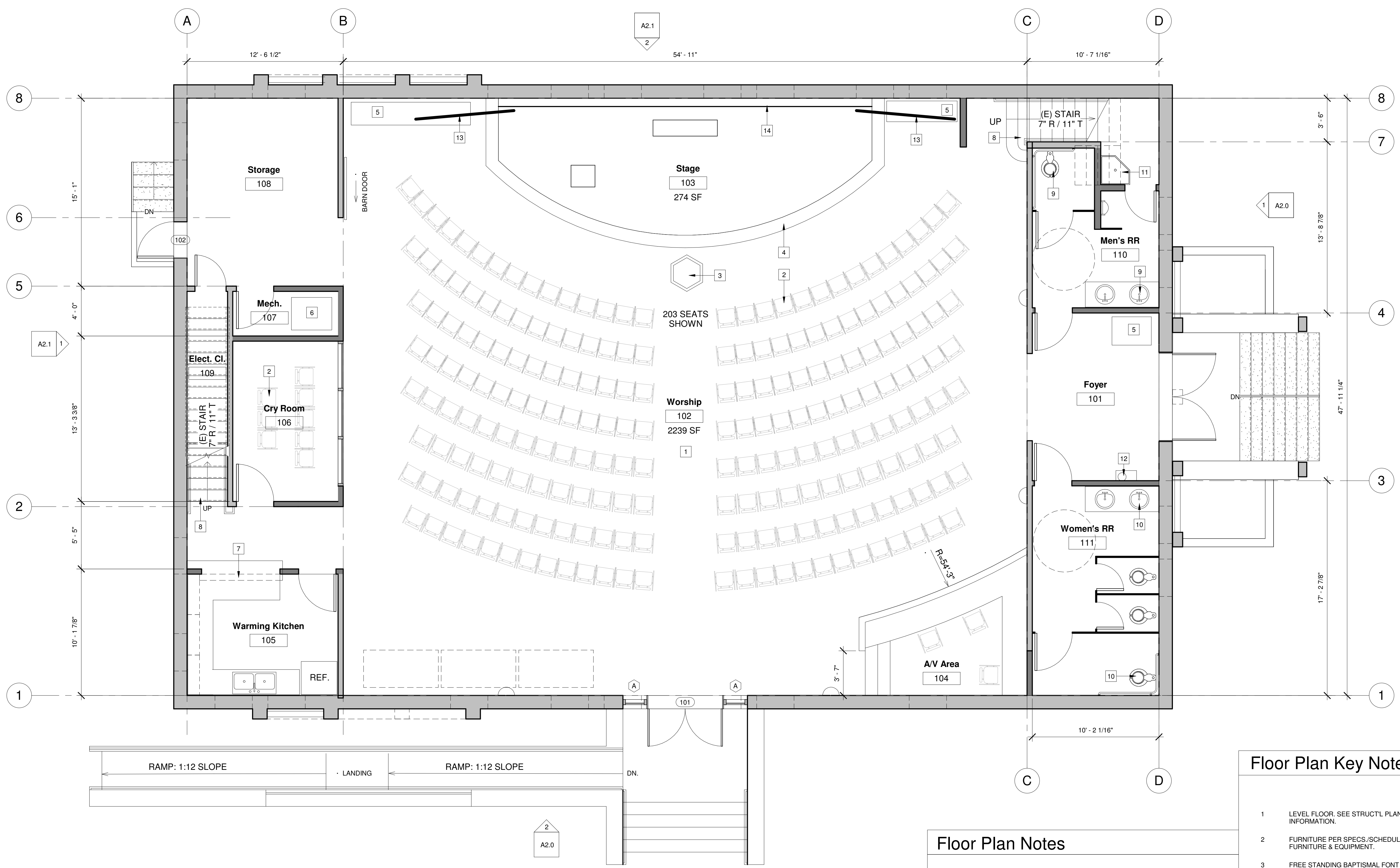
1 Demo Second Floor Plan
 1/4" = 1'-0"

2
 A2.0

Wall Legend	
(SEE A6.2 WALL ASSEMBLIES FOR FURTHER INFORMATION)	
	EXISTING STUD WALL - NON-RATED, UNLESS OTHERWISE NOTED
	NEW STUD WALL - NON-RATED, UNLESS OTHERWISE NOTED

Demo Floor Plan Notes	
1.	DEMOLISH ALL WALL AND CEILING SHOWN DASHED AND CLARIFIED IN THE KEY NOTES.
2.	ALL ELEMENTS THAT ARE TO REMAIN MUST BE PROTECTED IN PLACE DURING DEMOLITION.
3.	DEMOLISH ALL WALL AND FLOOR FINISHES THROUGHOUT.
4.	REMOVE AND CAP ACCORDING TO APPLICABLE CODE, BELOW THE FLOOR / SLAB, ALL UNUSED UTILITIES.
5.	ALL HVAC DUCTWORK TO ACCOMMODATE NEW PLAN. PACKAGE UNIT(S).
6.	CONTACT ARCHITECT WHEN IN DOUBT OF DEMOLITION SCOPE.
8.	COORDINATE ALL DEMOLITION WORK WITH NEW CONSTRUCTION DOCUMENTS WHEN AVAILABLE.
7.	COORDINATE ALL DEMOLITION WORK WITH OWNER.
8.	PROTECT IN PLACE ALL SERVICE FEEDS TO ELECTRICAL PANEL.
9.	INVESTIGATE ANY AND ALL UNKNOWN ELECTRICAL, PLUMBING, MECHANICAL, AND STRUCTURAL WITH LANDLORD TO VERIFY DEMOLITION POSSIBILITY.

Demo Floor Plan Key Notes	
1	(E) WOOD STAIRS TO REMAIN.
2	
3	REMOVE ALL FRAMED PARTITIONS SHOWN DASHED.
4	REMOVE ALL DOORS SHOWN DASHED, RELOCATE IF POSSIBLE. SEE DOOR SCHEDULE.
5	REMOVE EXISTING DUCTWORK, TYP.
6	(E) WOOD SUB-FLOOR SHALL REMAIN. PATCH AS NEEDED.
7	
8	INVESTIGATE PURPOSE OF WALL BUILDOUT. REMOVE IF POSSIBLE.



1 First Floor Plan
 1/4" = 1'-0"

- ### Floor Plan Notes
- SYMBOL WX INDICATES WALL TYPE. SEE SHEET A6.2 FOR WALL ASSEMBLY INFO.
 - DIMENSIONS ARE TO FACE OF BLOCK OR FACE OF STUD UNLESS NOTED OTHERWISE.
 - TYPICAL EXTERIOR WALL ASSEMBLY W2 OR W2A UNLESS NOTED OTHERWISE ON ARCHITECTURAL OR STRUCTURAL PLANS.
 - PROVIDE APPROPRIATE WALL DEPTH WHERE ANY EQUIPMENT IS TO BE RECESSED IN WALL.
 - ALL INTERIOR WALLS ARE TO RECEIVE 3 1/2" OF SOUND INSULATION CONTINUOUS TO UNDERSIDE OF ROOF DECK, TYP.
 - METAL STUD WALLS MAY BE USED IN LIEU OF WOOD STUD WALLS AT NON-BEARING, NON-SHEAR WALL LOCATIONS. SEE ASSEMBLY NOTES, SHT. A6.2
 - SLOPE FLOORS TO DRAINS AS SHOWN ON ARCHITECTURAL FLOOR PLANS, PLUMBING PLANS.
 - WHERE ADDITIONAL DOOR ARE INSTALLED FOR EGRESS PURPOSES, THEY SHALL CONFORM TO ALL REQUIREMENTS OF IBC, CHAPTER 10.
 - NO EXPOSED CONDUIT OR SURFACE MOUNTED BOXES ALLOWED.
 - PRESSURE TREATED DOUGLAS FIR SILLS @ FOUNDATION TYP. U.N.O.
- SYMBOLS**
 ISA = INTERNATIONAL SYMBOL OF ACCESSIBILITY - SEE DETAIL 6/HC-1
 FE = FIRE EXTINGUISHER CABINET - SEE DETAIL 7/A5.2

- ### Floor Plan Key Notes
- LEVEL FLOOR. SEE STRUCT'L PLANS AND FINISH SCHED'L FOR MORE INFORMATION.
 - FURNITURE PER SPECS./SCHEDULE. REFER TO OWNER FOR ADD'L FURNITURE & EQUIPMENT.
 - FREE STANDING BAPTISMAL FONT PER OWNER
 - WOOD RISERS STEP. SEE FINISH SCHED'L.
 - NIC FURNITURE AND EQUIPMENT. REFER TO OWNERS SPECIFICATIONS.
 - HVAC EQUIPMENT. SEE MEP DWG'S & SPECS
 - PASS THROUGH W/ ROLL-UP SHUTTER PER SPEC. SEE MEP PLANS
 - (E) WOOD STAIRS. STRIP AND RE-FINISH PER FINISH SCHED'L.
 - WATER CLOSETS & SINKS PER PLUMBING DWG'S.
 - WATER CLOSET OR URINAL PER PLUMBING DWGS.
 - MOP SINK. SEE PLUMBING DWG'S AND SPECS
 - RECESSED HIGH LOW DRINKING FOUNTAIN. SEE MEP PLANS
 - TV MONITOR PER OWNER, PROVIDE DATA CONNECTION & POWER PER ELECTRICAL PLANS
 - WOOD GRILL ACOUSTICAL BACKDROP TO MATCH WD. CEILING PANELS. SEE INTERIOR ELEVATIONS AND DETAILS.



Project	2303
Date	
Schematic Design	01-10-24
Historic Review Submittal	03-25-24
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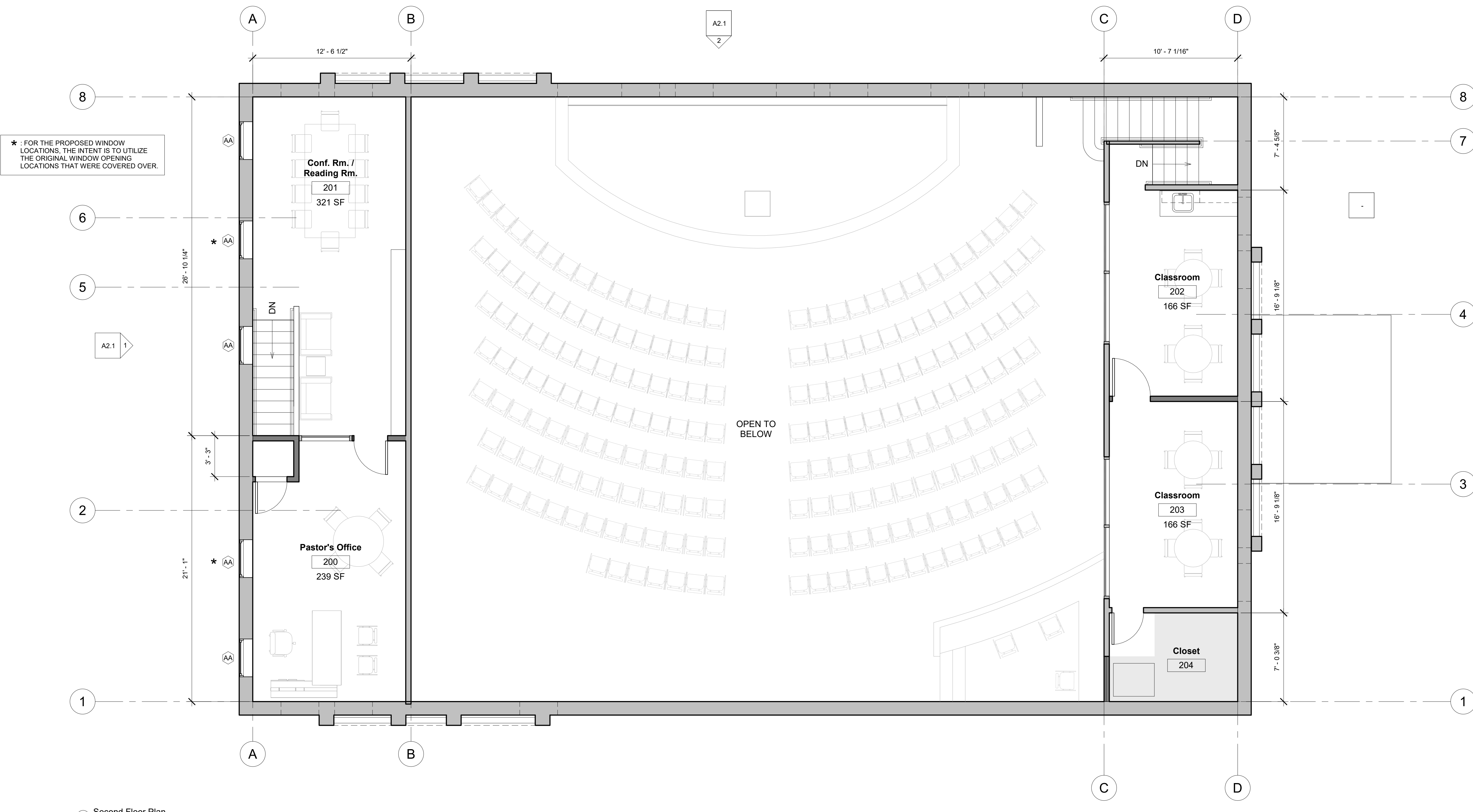
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EXTERIOR RENOVATION
 Hope Lutheran Church
 Second Floor Plan



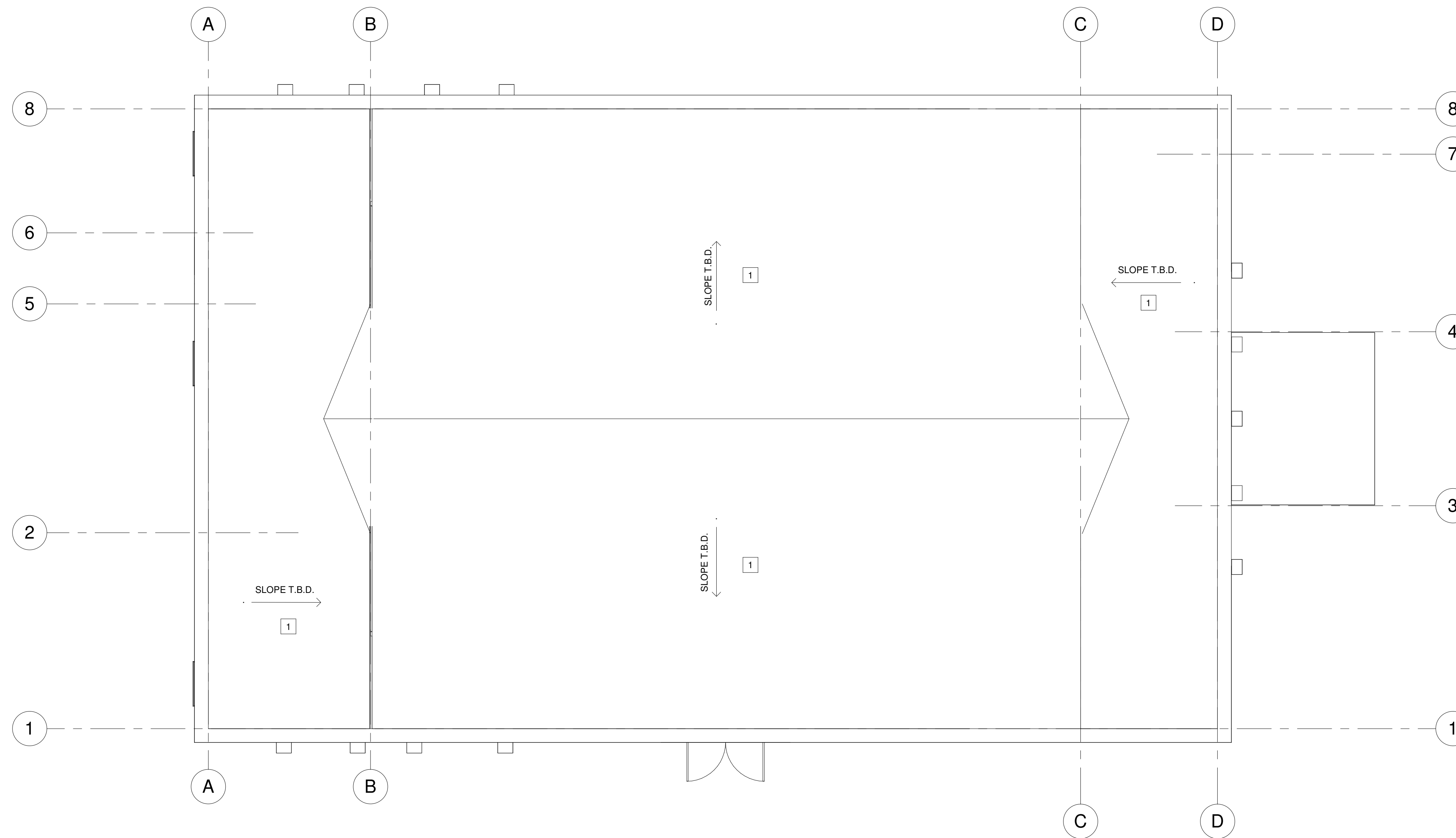
Project	2303
Date	.
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1 Second Floor Plan
 1/4" = 1'-0"

Wall Legend	Floor Plan Notes	Floor Plan Key Notes
<p>(SEE A6.2 WALL ASSEMBLIES FOR FURTHER INFORMATION)</p> <p> EXISTING STUD WALL - NON-RATED, UNLESS OTHERWISE NOTED NEW STUD WALL - NON-RATED, UNLESS OTHERWISE NOTED </p>	<ol style="list-style-type: none"> SYMBOL WX INDICATES WALL TYPE. SEE SHEET A6.2 FOR WALL ASSEMBLY INFO. DIMENSIONS ARE TO FACE OF BLOCK OR FACE OF STUD UNLESS NOTED OTHERWISE. TYPICAL EXTERIOR WALL ASSEMBLY W2 OR W2A UNLESS NOTED OTHERWISE ON ARCHITECTURAL OR STRUCTURAL PLANS. PROVIDE APPROPRIATE WALL DEPTH WHERE ANY EQUIPMENT IS TO BE RECESSED IN WALL. ALL INTERIOR WALLS ARE TO RECEIVE 3 1/2" OF SOUND INSULATION CONTINUOUS TO UNDERSIDE OF ROOF DECK, TYP. METAL STUD WALLS MAY BE USED IN LIEU OF WOOD STUD WALLS AT NON-BEARING, NON-SHEAR WALL LOCATIONS. SEE ASSEMBLY NOTES, SHT. A6.2 SLOPE FLOORS TO DRAINS AS SHOWN ON ARCHITECTURAL FLOOR PLANS, PLUMBING PLANS. WHERE ADDITIONAL DOOR ARE INSTALLED FOR EGRESS PURPOSES, THEY SHALL CONFORM TO ALL REQUIREMENTS OF IBC, CHAPTER 10. NO EXPOSED CONDUIT OR SURFACE MOUNTED BOXES ALLOWED. PRESSURE TREATED DOUGLAS FIR SILLS @ FOUNDATION TYP. U.N.O. <p>SYMBOLS</p> <p>ISA = INTERNATIONAL SYMBOL OF ACCESSIBILITY - SEE DETAIL 6/HC-1 FE = FIRE EXTINGUISHER CABINET - SEE DETAIL 7/A5.2</p>	



1 Roof Plan
3/16" = 1'-0"

Roof Plan Key Notes

- 1 LOW SLOPE MEMBRANE OVER 6" R-25 RIGID INSULATION PER SPECS. ROOF SLOPE PER PLAN, TYPICAL. SEE DETAIL.

Roof Plan Notes

1. ALL ROOF CONSTRUCTION SHOWN ON THIS SHEET IS ROOF **ASSEMBLY R1** U.N.O. SEE **SHEET A6.2** FOR ROOF CLASSIFICATION SCHEDULE.
2. HEIGHT INDICATED ON THIS PLAN ARE TO TOP OF ROOF PLYWOOD UNLESS NOTED OTHERWISE. HEIGHTS ARE MEASURED FROM TOP OF MAIN FLOOR CONCRETE SLAB. (0'-0")
3. MINIMUM ROOF SLOPES, INCLUDING CRICKETS, TO BE 1/2" PER FOOT U.N.O. MINIMUM SLOPE AT CROSS FALLS TO BE 1/4" PER FOOT.
4. CRICKETS FOR ROOF SHALL BE FRAMED WITH 2x WOOD MEMBERS @ 24" O.C., MAXIMUM AND 5/8" PLYWOOD SHEATHING. SEE DETAIL 18/A5.2 FOR MORE INFORMATION.
5. DS : DOWN SPOUT
RD : ROOF DRAIN
OF : OVERFLOW
T.O.P. : TOP OF PARAPET
T.O. PLY : TOP OF PLYWOOD
6. DOWN SPOUTS, ROOF DRAINS AND OVERFLOWS TO RUN OUTSIDE WALL, UNLESS NOTED OTHERWISE. SEE PLUMBING PLANS FOR CONTINUATION.
7. OVERFLOW DRAINS SHALL DISCHARGE TO AN APPROVED LOCATION AND SHALL NOT BE CONNECTED TO ROOF DRAIN LINES (**I.B.C. 1506**)
8. REQUIRED ROOF : MINIMUM OF CLASS A **PER IBC CHAPTER 15**.
9. SUPPLY AND INSTALL GALVANIZED SHEET METAL ROOF JACKS FOR VENTING. VENTS SHALL BE GANGED TOGETHER AND ROUTED TO BACKSIDE OF ROOF TO PENETRATE ROOF AS DIRECTED BY ARCHITECT, (MIN. 18" FROM FASCIA & 18" MIN. FROM RIDGES).



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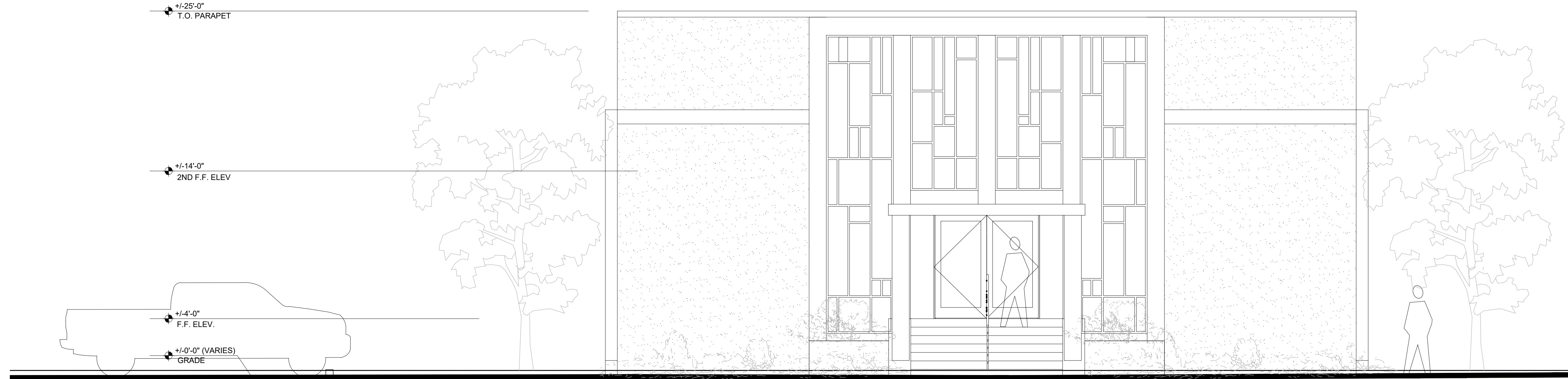
EXTERIOR RENOVATION
Hope Lutheran Church

Roof Plan

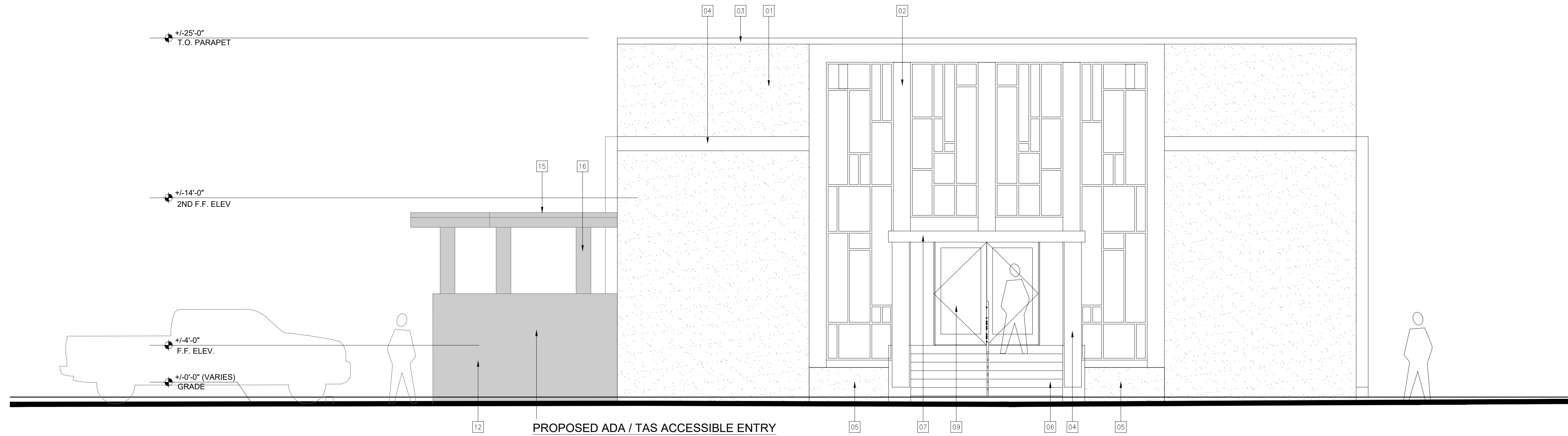


Project	2303
Date	.
Schematic Design	01-10-24
Historic Review Submittal	03-25-24
...	...
...	...

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1 North Elevation - EXISTING
1/4" = 1'-0"



1 North Elevation - PROPOSED
1/4" = 1'-0"

SPECIFICATIONS

WINDOWS
MARVIN, ULTIMATE SERIES DOUBLE HUNG SOLID WOOD, DUAL GLAZED, CUSTOM SIZE. COLOR PER OWNER.

EXTERIOR DOORS
MARVIN, ULTIMATE SERIES COMMERCIAL, SINGLE LIGHT PAIR, DUAL GLAZED, 1 3/4" SOLID WOOD. INCLUDE SOLID WOOD FRAMES AND DUAL GLAZED SIDELIGHTS. COLOR BY OWNER.

ELEVATION KEY NOTES

- 01 (N) LAYER OF STUCCO OVER EXISTING. REMOVE LOOSE STUCCO, CLEAN AND APPLY LAYER OF BONDING AGENT PRIOR TO NEW STUCCO LAYER. COLOR PER SCHEDULE.
- 02 (E) REDWOOD LATTICE PANELS. PATCH, REPAIR & RE-FINISH. PROVIDE (N) UP-LIGHTING PER ELECT./LIGHTING PLANS.
- 03 (E) PARAPET COPPING. PATCH, REPAIR & RE-FINISH.
- 04 (E) REDWOOD FASCIA. PATCH, REPAIR & RE-FINISH.
- 05 (E) SITE WALLS / STUCCO. REPAIR AND INCLUDE (N) STUCCO FINISH.
- 06 (E) CONCRETE STEPS. CLEAN AS REQUIRED.
- 07 (E) REDWOOD FRAMED ROOF CANOPY. PATCH, REPAIR & RE-FINISH.
- 08 (E) EXIT DOOR TO REMAIN. PREP AND RE-FINISH.
- 09 (E) WOOD DOORS. PREP AND RE-FINISH.
- 10 (N) DUAL GLAZED DOUBLE HUNG WINDOWS. WOOD WINDOW FRAMES SHALL MATCH PROFILE AND DETAIL EXIST. FRAMES. NOTE: LOCATION OF PROPOSED WINDOW MATCHES THE ORIGINAL WINDOW LOCATIONS.
- 11 (N) WOOD / DUAL GLASS ENTRY DOORS PER DOOR SCHEDULE.
- 12 (N) CMU SITE WALLS W/ STUCCO FINISH.

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- 18 (E) MTL. SCUPPERS AND DOWNSPOUTS. PREP & RE-PAINT. MAKE CONNECTION TO STORM DRAIN SYSTEM.
- 19 NOT USED
- 20 DASHED LINE INDICATES PREVIOUS LOCATION OF DOOR OPENING.
- 21 (E) MAINTENANCE SHED TO BE REMOVED. NOT ORIGINAL TO BUILDING.
- 22 (E) CONCRETE STEPS TO BE REMOVED.

GENERAL NOTES:

1. G.C. IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS. G.C. TO ADVISE LANDLORD AND ARCHITECT OF ANY DISCREPANCIES.
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5. REFER TO ELECT'L. / LIGHTING PLANS.

LEGEND

- INDICATES PROPOSED EXISTING ELEMENTS TO BE REMOVED.
- INDICATES PROPOSED ELEMENTS.

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EXTERIOR RENOVATION
Hope Lutheran Church
634 West Cottage Street, Houston, Texas 77009

Exterior Elevations



Project: 2303
Schematic Design 01-30-23

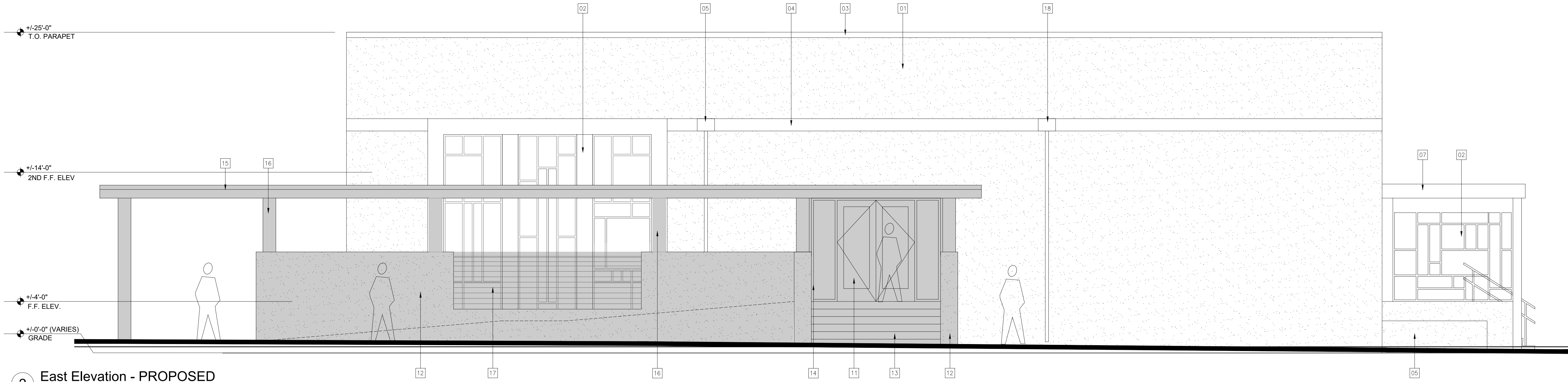
Historic Review Submittal 03-25-24

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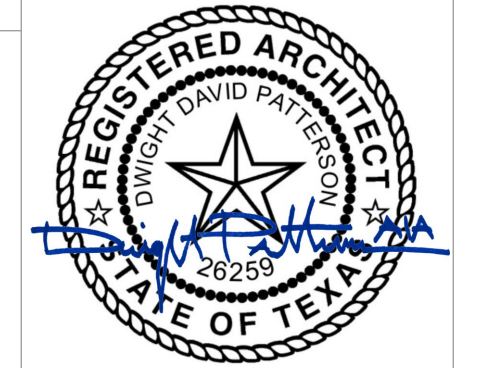
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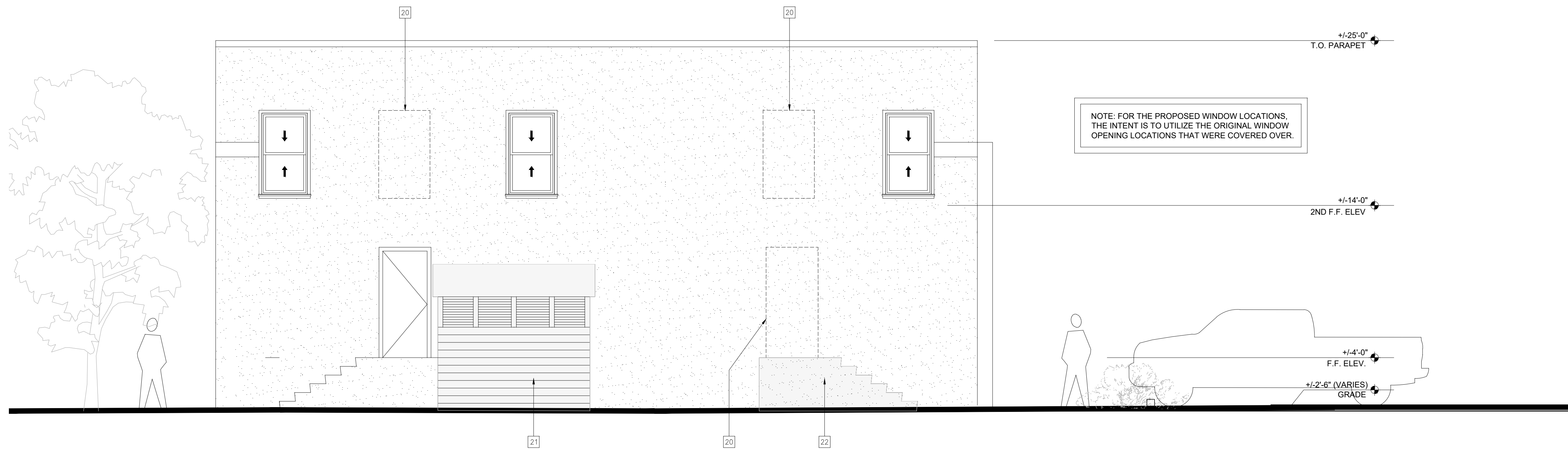
Exterior Elevations



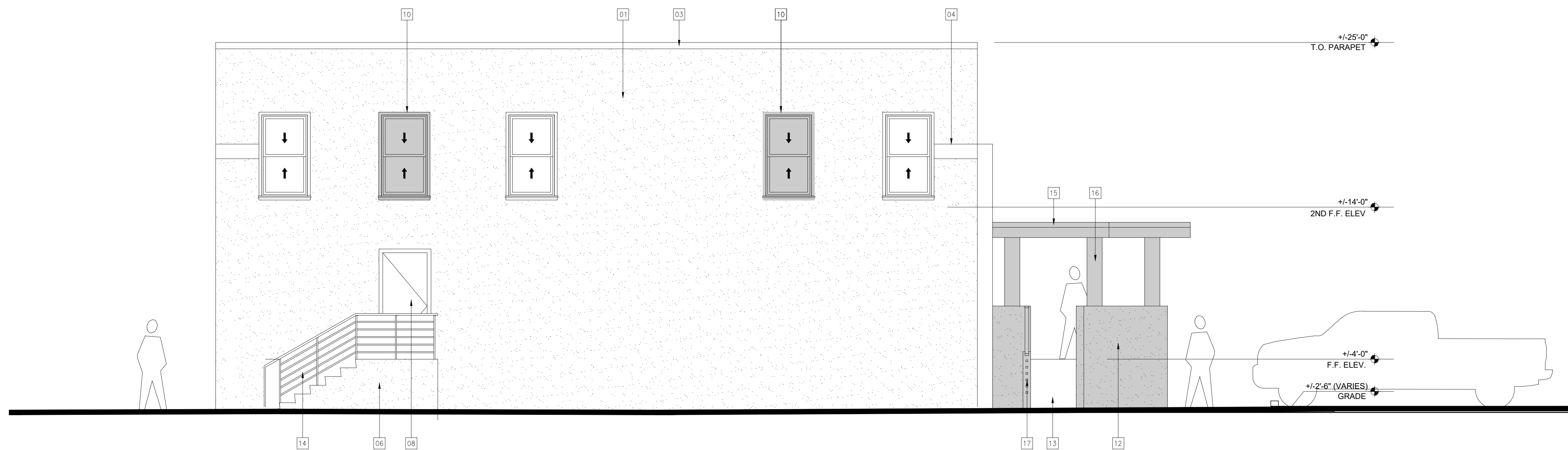
Project: 2303
Schematic Design 01-30-23
Historic Review Submittal 03-25-24

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Exterior Elevations

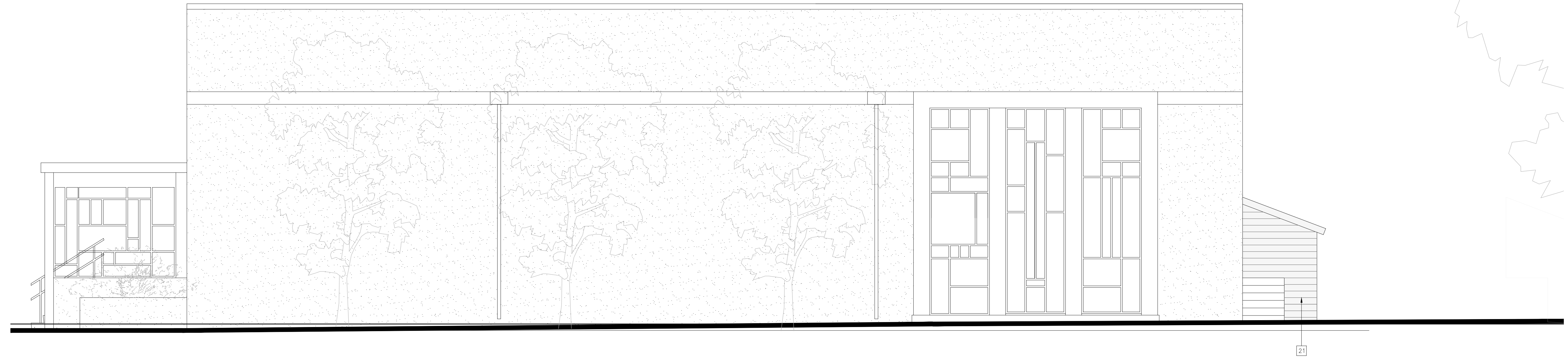


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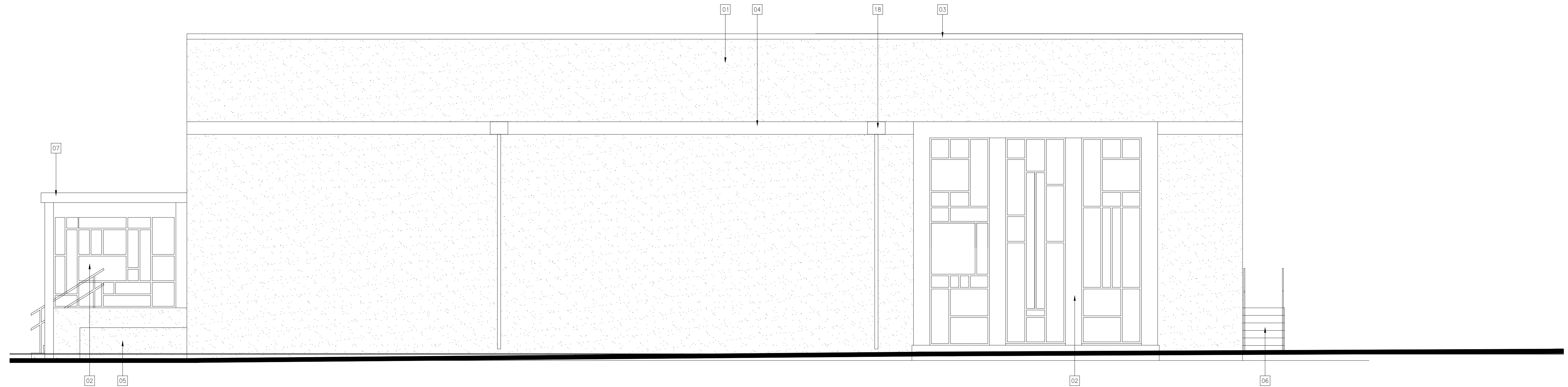
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2 West Elevation EXISTING
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2 West Elevation - PROPOSED
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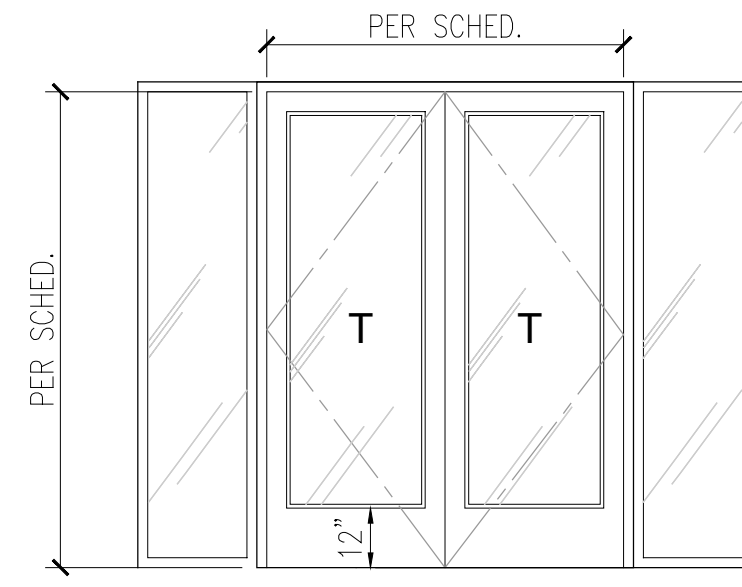


Project: 2303
Schematic Design 01-30-23
Historic Review Submittal 03-25-24

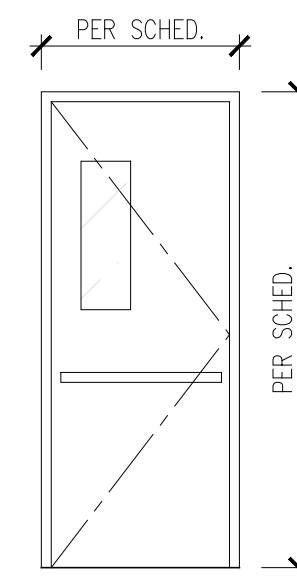
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DOOR SCHEDULE

NO.	TYPE	DOOR		CORE	DESCRIPTION	DOOR		FRAME		DETAILS			FIRE RATING	REMARKS
		WIDTH	HEIGHT			MATERIAL	FINISH	MATERIAL	FINISH	HEAD	JAMB	SILL		
MAIN LEVEL PLAN														
101	A	PR 3'-0"	8'-0"	S	PAIR	WD / GLASS	PAINT	WOOD	PAINT	AS.0	AS.0	AS.0	01	EXIT DOOR. PART OF SIDELITE WINDOWS. OVERHEAD CONCEALED CLOSURE. PROVIDE THRESHOLD.
102	B	3'-0"	6'-8"	S	SINGLE	WOOD	PAINT	WOOD	PAINT	AS.0	AS.0	AS.0	01	EXIT DOOR. OVERHEAD CONCEALED CLOSURE. VISION LITE. PROVIDE THRESHOLD. VERIFY HEIGHT. TO MATCH EXISTING.



A PAIR S.C. WOOD/GLASS DOOR



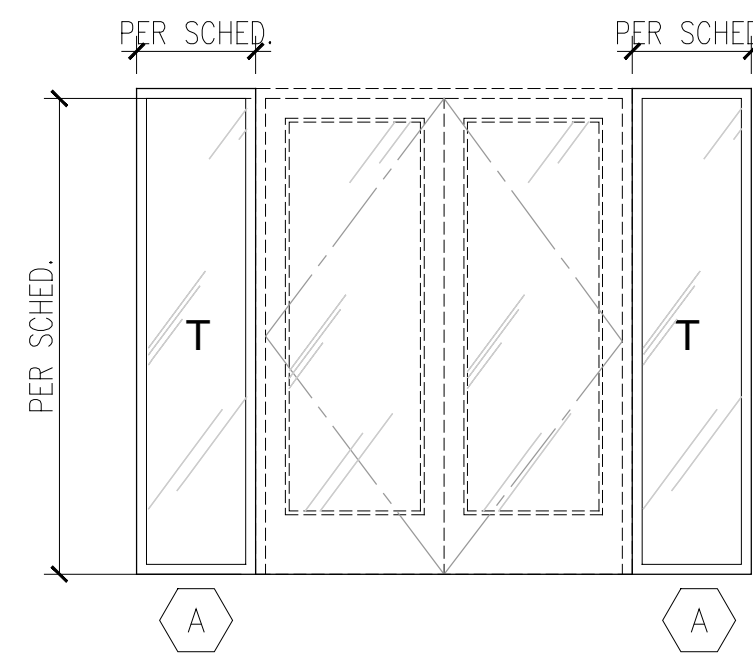
B S.C. 45 MIN. FIRE RATED DOOR

NOTE: CONTRACTOR TO CONFIRM THAT EXISTING DOORS AND HARDWARE MEET TEXAS ACCESSIBILITY STANDARDS AND DOOR NOTES. PLEASE NOTIFY THE OWNER AND ARCHITECT OF ANY NON-CONFORMING ISSUES.

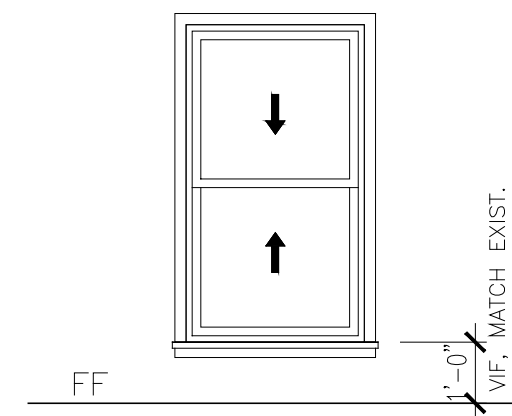
DOOR TYPES

WINDOW SCHEDULE

TYPE	DESCRIPTION	NOMINAL SIZE (Contractor to verify)		FRAME MATERIAL	FRAME FINISH	DETAILS			WINDOW COVER	GLASS	FIRE RATED	REMARKS
		WIDTH	HEIGHT			HEAD	JAMB	SILL				
MAIN LEVEL FLOOR PLAN												
A	FIXED	2'-0"	8'-2"	WOOD	PAINT	AS.0	AS.0	AS.0	-	DUAL		VERIFY HEIGHT, TYPE AND FINISH. TO MATCH EXISTING.
AA	DOUBLE HUNG	3'-4"	5'-6"	WOOD	PAINT	AS.0	AS.0	AS.0	-	DUAL		VERIFY HEIGHT, TYPE AND FINISH. TO MATCH EXISTING.



A FIXED WOOD/GLASS SIDELITE WINDOWS



AA DOUBLE-HUNG WOOD/GLASS WINDOW

WINDOW TYPES

- ALL EXIT ACCESS DOORS SHALL HAVE LEVER HARDWARE WHICH RETRACTS BOTH LOCKS IN A SINGLE OPERATION.
- IF EXIT ACCESS DOOR HAS TWO LEAFS, ONLY AUTOMATIC FLUSH BOLT WILL BE PERMITTED. LEAF CONTAINING FLUSH BOLT SHALL NOT HAVE HARDWARE UNLESS IT IS THE MAIN ENTRANCE DOOR AND REMAINS OPEN DURING BUSINESS HOURS.
- HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS OF DOORS AND GATES THAT ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, BY PANIC BARS, PUSH-PULL ACTUATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
- WHEN INSTALLED, EXIT DOORS SHALL BE CAPABLE OF OPENING SO THAT THE CLEAR WIDTH OF THE EXIT IS NOT LESS THAN 32".
- WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
- THERE SHALL BE A LEVEL AND CLEAR FLOOR OR LANDING ON EACH SIDE OF A DOOR. THE LEVEL AREA SHALL HAVE A LENGTH IN THE DIRECTION OF THE DOOR SWING OF AT LEAST 60" AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 48" AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION.
- THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24" PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18" PAST THE STRIKE EDGE FOR INTERIOR DOORS. DOORS RECESSED 8" OR MORE REQUIRE THIS CLEARANCE WITHIN THE RECESSED AREA ADJACENT TO THE DOOR.
- PROVIDE A CLEAR SPACE OF 12" PAST THE STRIKE EDGE OF THE DOOR ON THE OPPOSITE SIDE TO WHICH THE DOOR SWINGS IF THE DOOR IS EQUIPPED WITH BOTH LATCH AND CLOSER.

- THE FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY.
- THE MAXIMUM EFFORT TO OPERATE EXTERIOR OR INTERIOR DOORS WITH CLOSERS SHALL NOT EXCEED FIVE POUNDS.
- ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.
- DOORWAYS LEADING TO MEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY AN EQUALATERAL TRIANGLE 1/4" THICK WITH EDGES 12" LONG AND A VERTEX POINTING UPWARD. WOMEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE 1/4" THICK AND 12" IN DIAMETER.
- UNISEX SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE 1/4" THICK, 12" IN DIAMETER, WITH A 1/4" THICK TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12" DIAMETER.
- GEOMETRIC SYMBOLS ON SANITARY FACILITY DOORS SHALL BE CENTERED ON THE DOOR AT A HEIGHT OF 60" AND THEIR COLOR AND CONTRAST SHALL BE DISTINCTLY DIFFERENT FROM THE COLOR AND CONTRAST OF THE DOOR.

SG - SAFETY GLAZING, SEE NOTES BELOW

GLAZING NOTES:

- GLAZING WITHIN 24 INCHES OF A DOORWAY AND LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- GLAZING PANEL IN EXCESS OF 9 SQ. FT.; WITHIN 36 INCHES OF A WALKING SURFACE.
- PERMANENT IDENTIFICATION IS REQUIRED ON THE SAFETY GLAZING AS PER CBC SECTION 2406.3.



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Door & Window Schedule



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